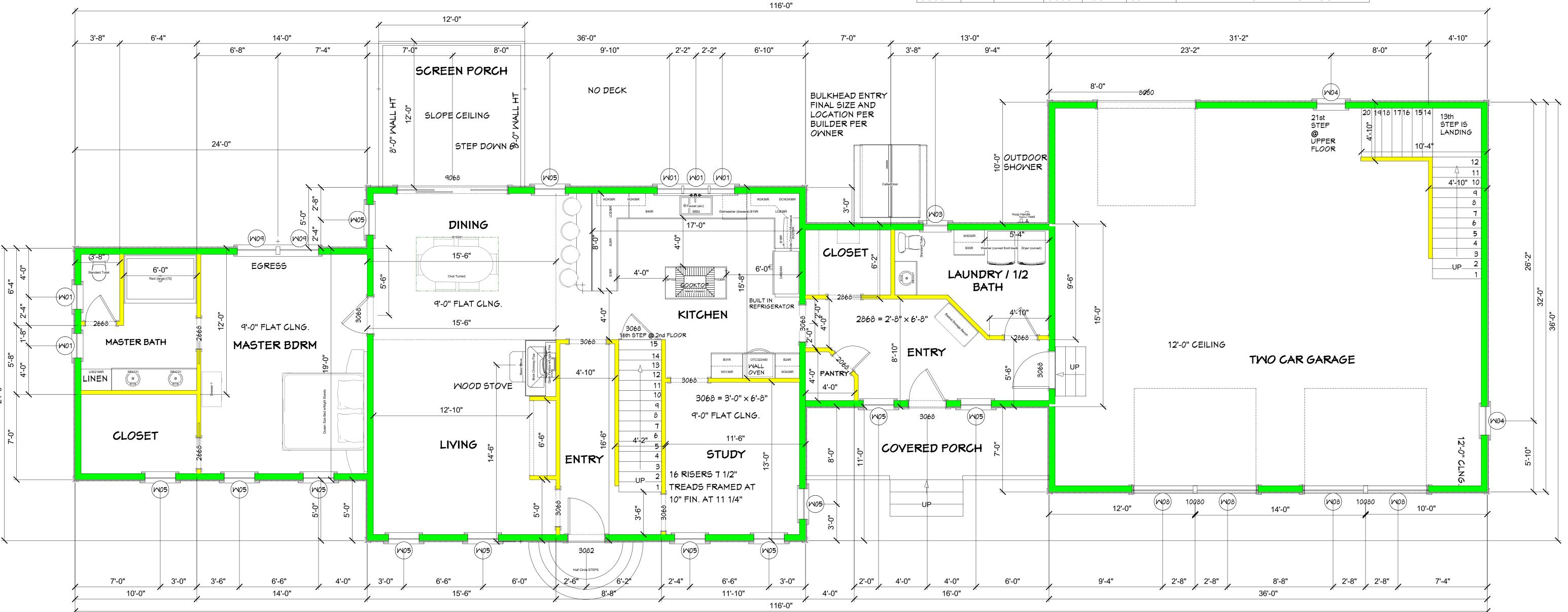


(UNLESS NOTED OTHERWISE)

WINDOW SCHEDULE						
LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS DESCRIPTION
W01-2030DH	5	1	2030DH	24 "	36 "	DOUBLE HUNG
W02-2030DH	1	2	2030DH	24 "	36 "	DOUBLE HUNG
W03-2040DH	1	1	2040DH	24 "	48 "	DOUBLE HUNG
W04-2440DH	2	1	2440DH	28 "	48 "	DOUBLE HUNG
W05-2646DH	12	1	2646DH	30 "	54 "	DOUBLE HUNG
W06-2646DH	4	2	2646DH	30 "	54 "	DOUBLE HUNG
W07-32410DH	4	2	32410DH	38 "	58 "	DOUBLE HUNG
W08-5010FX	4	1	5010FX	60 "	12 "	FIXED GLASS
W09-32410DH	2	1	32410DH	38 "	58 "	DOUBLE HUNG

	DOOR SCHEDULE					
LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION
10080	2	1	10080	120 "	96 "	GARAGE-DESIGN 3 - TOP 13
2068	1	1	2068	24 "	80 "	HINGED-DOOR P06
2068	1	2	2068	24 "	80 "	HINGED-DOOR P06
2668	1	1	2668	30 "	80 "	HINGED-DOOR P06
2668	2	1	2668	30 "	80 "	POCKET-6-PANEL
2868	1	1	2868	32 "	80 "	HINGED-DOOR P06
2868	1	1	2868	32 "	80 "	POCKET-6-PANEL
2868	2	2	2868	32 "	80 "	HINGED-DOOR P06
3040	2	2	3040	36 "	48 "	EXT. HINGED-PANEL
3068	1	0	3068	36 "	80 "	HINGED-SLAB
3068	3	1	3068	36 "	80 "	HINGED-DOOR P06
3068	2	1	3068	36 "	80 "	EXT. HINGED-DOOR E24
3068	3	2	3068	36 "	80 "	HINGED-DOOR P06
3082	1	1	3082	36 "	98 "	MULLED UNIT
8080	1	1	8080	96 "	96 "	GARAGE-DESIGN 3 - TOP 13
6068	2	2	6068	72 "	80 "	SLIDER-DOOR P05
9068	1	1	9068	108 "	80 "	EXT. TRIPLE SLIDER-GLASS



FIRST FLOOR PLAN

LOW MAINTENANCE EXTERIOR MATERIALS 5" EXTERIOR WINDOW AND DOOR CASING ROOF - 12" O.H. @ NORMAL / 4" O.H. AT GABLE ENDS 9'-0" FIRST FLOOR CEILING HT. PROPANE DIRECT VENT HOT WATER

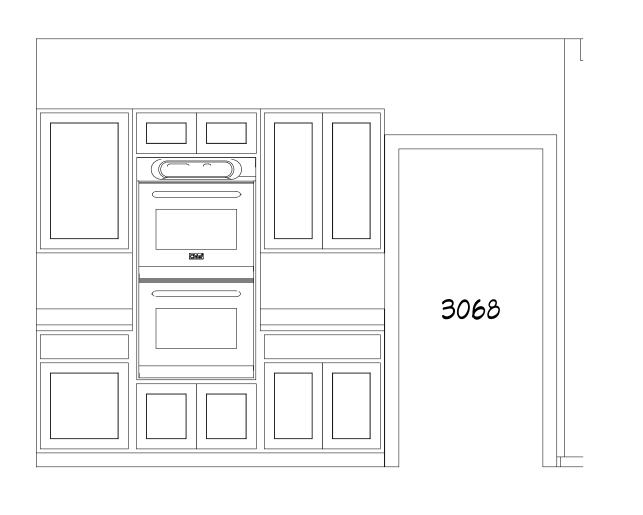
SCALE: 1/4" = 1'0"

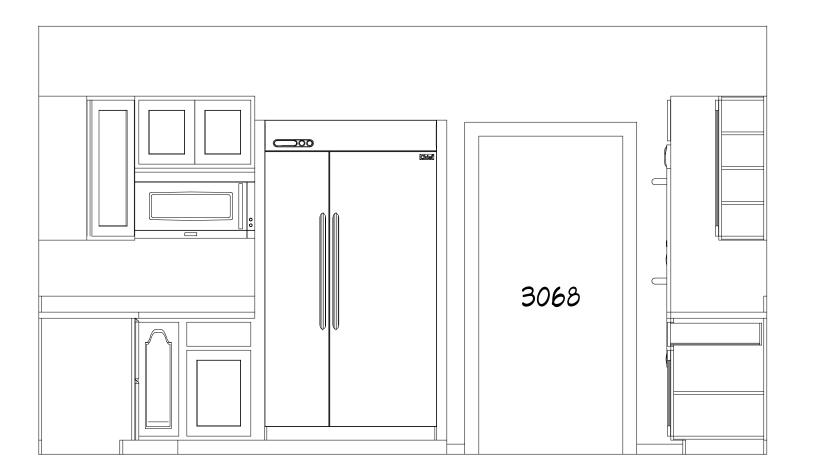
(SCALE ACCURATE MHEN PRINTED ON 24" × 36" PAPER) (UNLESS NOTED OTHERWISE)

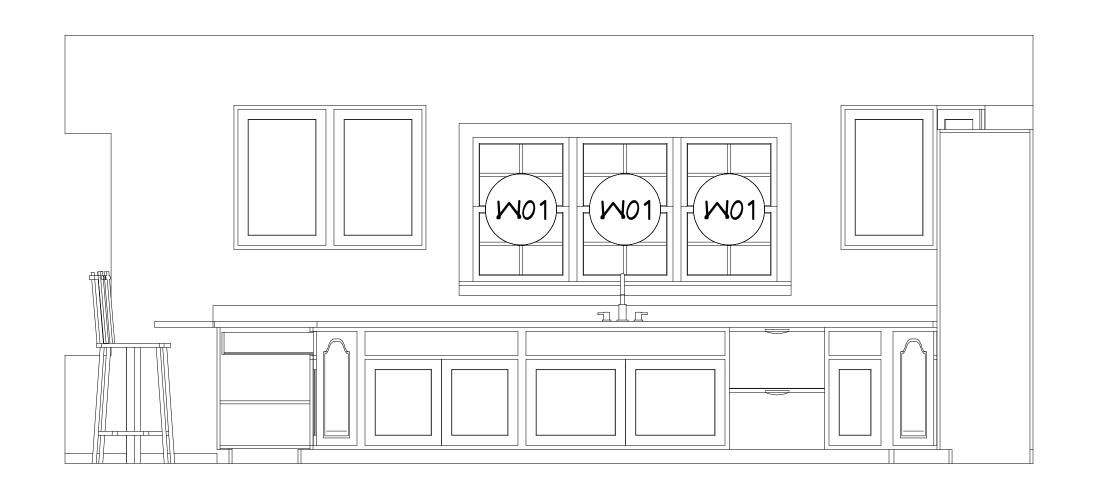
STEVEN MELBOU
REMODELING - NEW CONSTR
40 HOLMAN STREE
(603) 293-7

59. Ft. 59. Ft. 59. Ft. 59. Ft. 59. Ft. 59. Ft. 1941 120 120 144 1802

DATE: 03/17/22







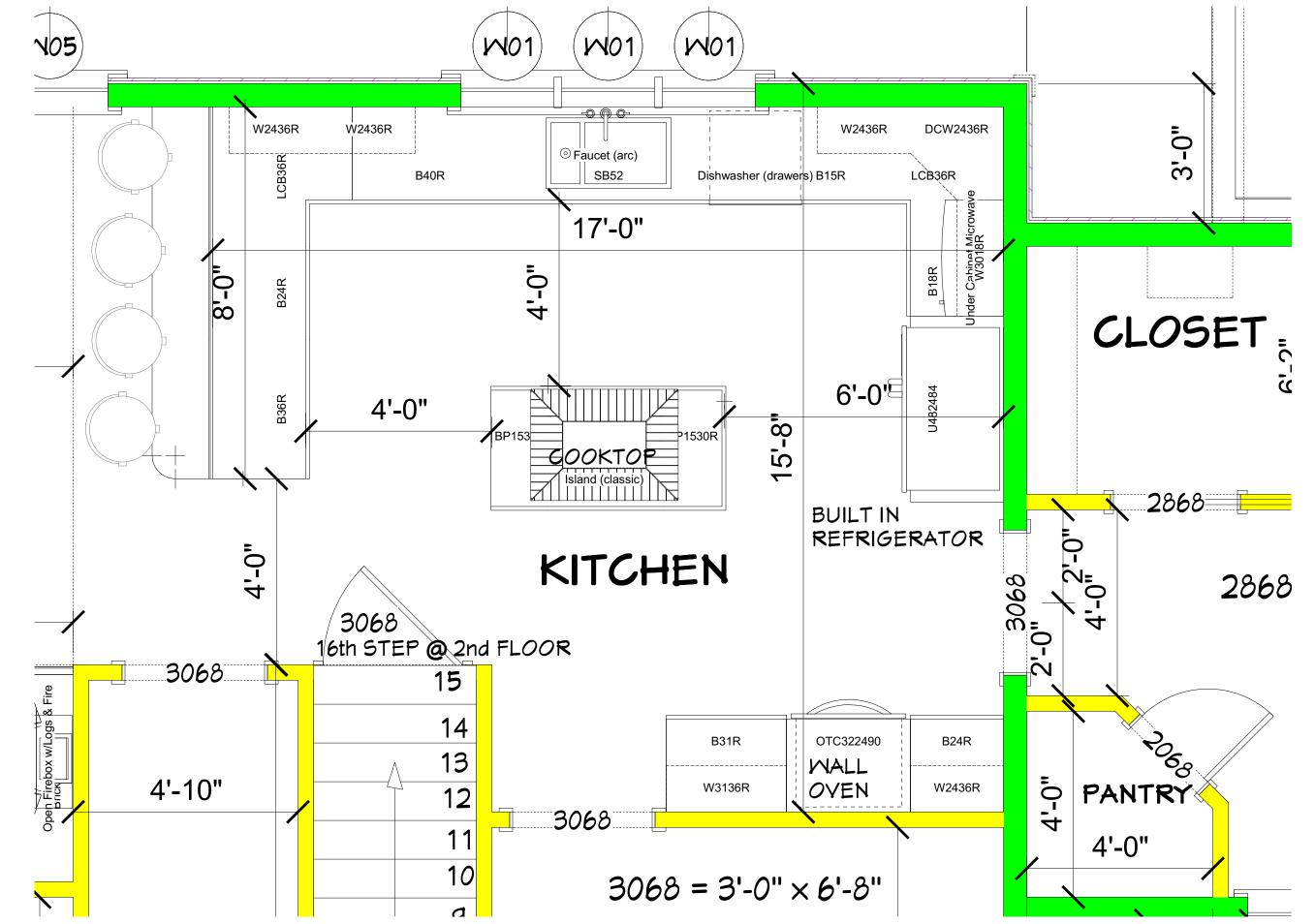
Elevation 7

Elevation 6

Elevation 5

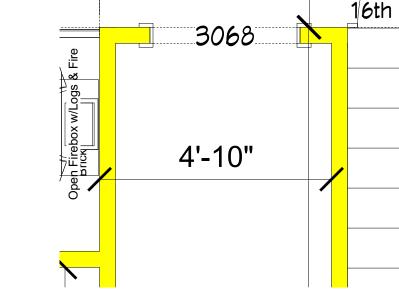
3068 3068 3068

KITCHEN ELEVATIONS (SCALE: 1/2" = 1'-0")

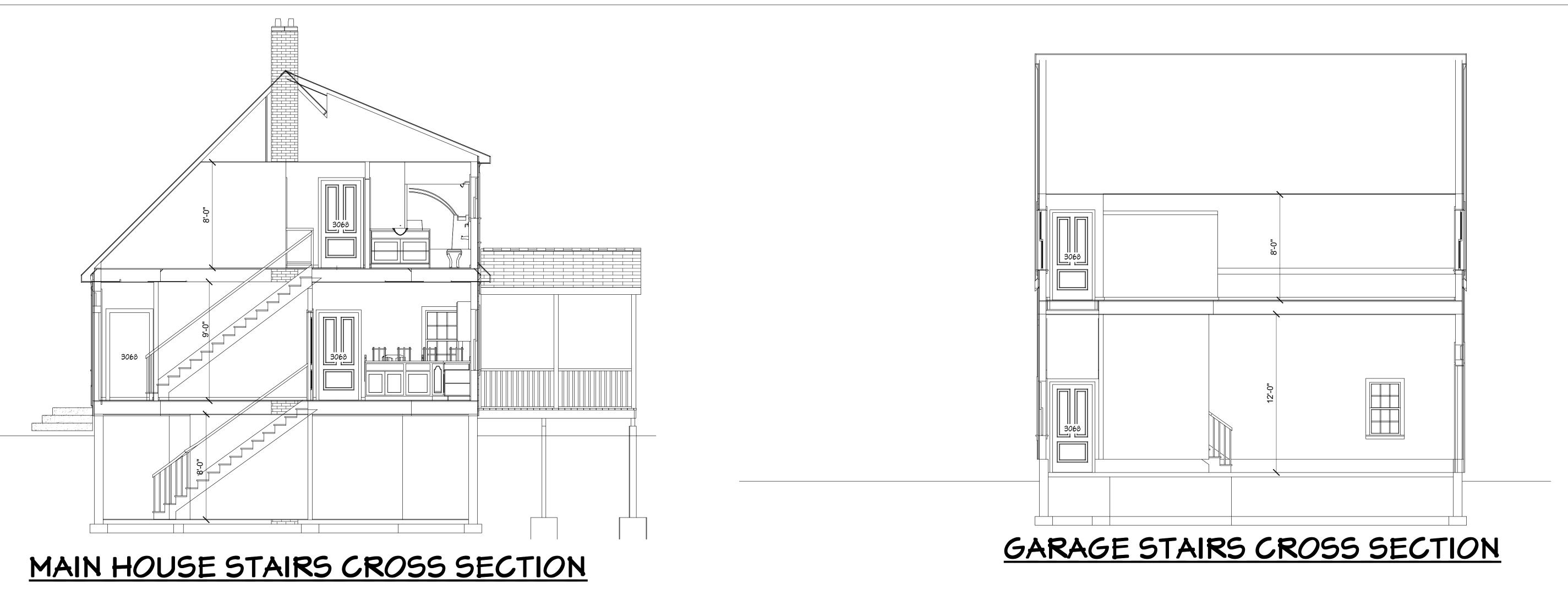


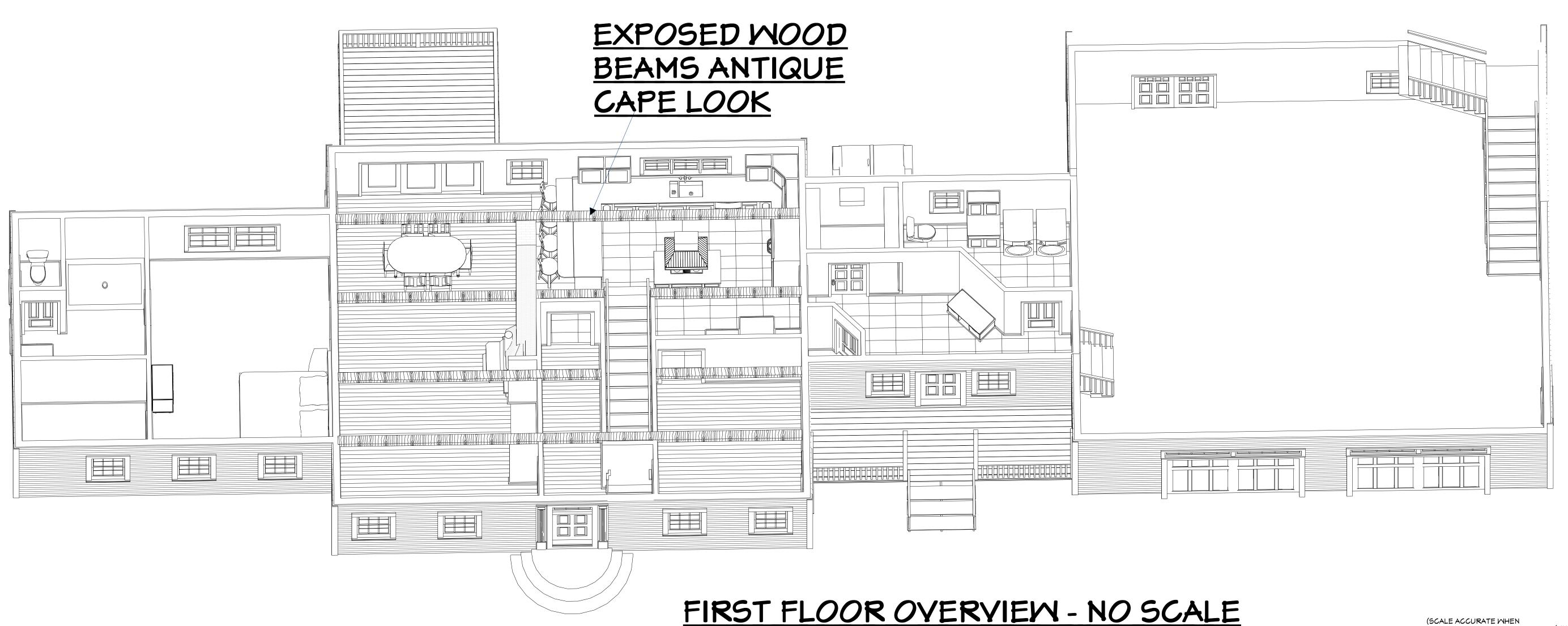
Elevation 8

KITCHEN 3-D VIEW (NO SCALE)



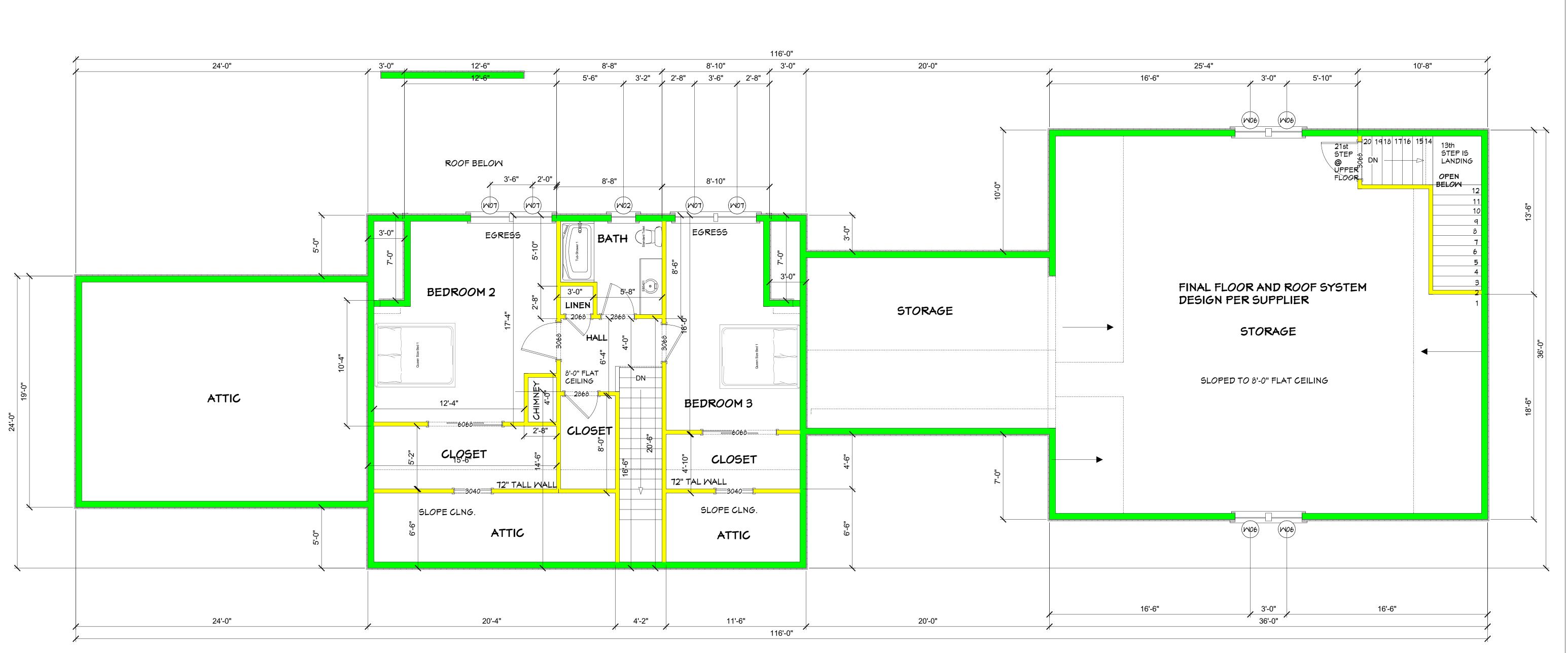
KITCHEN FLOOR PLAN (SCALE: 1/2" = 1'-0")





SCALE: 1/4" = 1'0" (SCALE ACCURATE WHEN (UNLESS NOTED OTHERWISE) PRINTED ON 24" × 36" PAPER)

59. Ft. 59. Ft. 59. Ft. 59. Ft. 59. Ft. 1941 120 120 144 1802 1152



SECOND FLOOR PLAN

saic

This
n in authority
Aght
repurchases

SANBORNTO
Aght
603 455 0

**IBOURNE DESIGN expressly reserves its' copyright and other property e plans and drawings. These plans and related drawings are not to be Jorm or manner. These plans are intended to provide the basic information necessary to substantially complete this structure. This plans must be verified and checked completely by the person in authority thy discrepancy, error, and/or omission, if found, is to be brought to the attention of the builder before any construction, work, or purchases OTE: All local codes, ordinances and requirements take precedence over

1ELBOURNE DESIGN

STEVEN MELBOURNE
REMODELING - NEW CONSTRUCTIC
40 HOLMAN STREET, LAC
(603) 293-7862

Living 780 Sq. Ft. 2721 Sq. Ft. 2721 Sq. Ft. 144 Sq. Ft. 1802 Sq. Ft. 1152 Sq. Ft.

First Floor Living
Second Floor Living
Total Living
Front (Side) Porch
Screen Porch
Screen Porch
A,
Basement Area

BANKS RESIDENCE
CIRCLE POINT ROAD
SANBORNTON,

DATE: 03/17/2

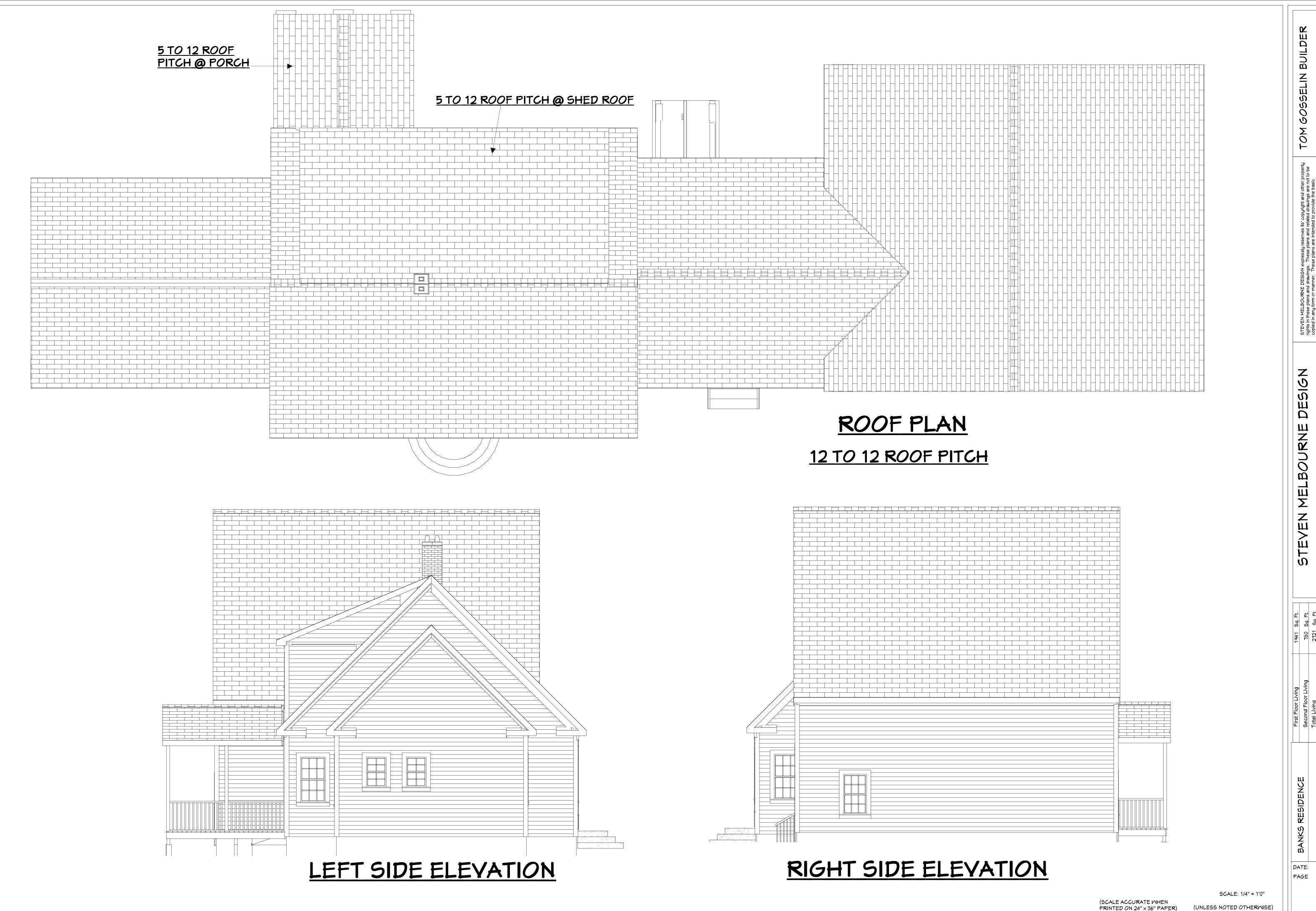
SCALE: 1/4" = 1'0" LESS NOTED OTHERWISE)

REAR ELEVATION



FRONT ELEVATION

(SCALE ACCURATE WHEN PRINTED ON 24" × 36" PAPER)





3-D VIEWS (NO SCALE)

SCALE: 1/4" = 1'0"

(SCALE ACCURATE MHEN PRINTED ON 24" × 36" PAPER)



The State of New Hampshire

Department of Environmental Services



Robert R. Scott, Commissioner

SHORELAND IMPACT PERMIT 2021-03686

NOTE CONDITIONS

PERMITTEE: JEREMY BANKS

112 WATERFEAF PLACE CLAYTON NC 27527

PROJECT LOCATION 88 CIRCLE POINT ROAD, SANBORNTON

TAX MAP #8, LOT #75

WATERBODY: HERMIT LAKE

APPROVAL DATE: JANUARY 07, 2022 EXPIRATION DATE: JANUARY 07, 2027

Shoreland Permit Application 2021-03686 has been found to meet or exceed the requirements of RSA 483-B as required per RSA 483-B:6, II. The New Hampshire Department of Environmental Services (NHDES) hereby issues this Shoreland Impact Permit with conditions pursuant to RSA 483-B:6, II.

PERMIT DESCRIPTION:

Impact 7,785 square feet of protected shoreland in order to construct a house, driveway and septic system.

Impervious Surface Percentage Approved: 19.9%

Natural Woodland Area Required per RSA 483-B:9,V, (b): 223 square feet

THE FOLLOWING PROJECT-SPECIFIC CONDITIONS HAVE BEEN APPLIED TO THE PERMIT PURSUANT TO ENV-WQ 1406.15(c):

- 1. All work shall be in accordance with revised plans by Bryan L. Bailey Associates, revision date December 29, 2021 and received by the New Hampshire Department of Environmental Services (NHDES) on January 3, 2022 pursuant to Env-Wq 1406.15(f).
- 2. Neither the new primary structure nor the proposed septic system may be constructed until the system is approved by the NHDES Subsurface Systems Bureau as required pursuant to RSA 483-B:6, I(c).
- 3. Within three days of final grading or temporary suspension of work in an area that is in or adjacent to wetlands or surface waters, all exposed soil areas shall be stabilized by seeding and mulching during the growing season, or if not within the growing season, by mulching with tack or netting and pinning on slopes steeper than 3:1 as required pursuant to RSA 483-B:9, V(d) Erosion and Siltation, (1).
- 4. This permit shall not be interpreted as acceptance or approval of any impact that will occur within wetlands jurisdiction regulated under RSA 482-A including all wetlands, surface waters and their banks, the tidal-buffer zone, and sand dunes. The owner is responsible for maintaining compliance with RSA 482-A and Administrative Rules Env-Wt 100 900 and obtaining any Wetland Impact Permit that may be required prior to construction, excavation or fill that will occur within Wetlands jurisdiction as required pursuant to RSA 483-B:6, I(b).
- 5. This permit shall not preclude NHDES from taking any enforcement or revocation action as authorized pursuant to 483-B:5, I, if NHDES later determines that any of the structures depicted as "existing" on the plans submitted by the applicant were not previously permitted or grandfathered.

THE FOLLOWING STANDARD PROJECT CONDITIONS SHALL BE MET PURSUANT TO ENV-WQ 1406.20:

- 1. Erosion and siltation control measures shall be installed prior to the start of work, be maintained throughout the project, and remain in place until all disturbed surfaces are stabilized.
- 2. Erosion and siltation controls shall be appropriate to the size and nature of the project and to the physical characteristics of the site, including slope, soil type, vegetative cover, and proximity to wetlands or surface waters.
- 3. No person undertaking any activity in the protected shoreland shall cause or contribute to, or allow the activity to cause or contribute to, any violations of the surface water quality standards established in Env-Wq 1700.
- 4. Any fill used shall be clean sand, gravel, rock, or other suitable material.
- 5. For any project where mechanized equipment will be used, orange construction fence shall be installed prior to the start of work at the limits of the temporary impact area as shown on the approved plans; be maintained throughout the project; and remain in place until all mechanized equipment has been removed from the site.

ANY INDIVIDUAL CONDUCTING WORK UNDER THIS PERMIT IS ADVISED OF THE FOLLOWING:

- During construction, a copy of this permit should be posted on site in a prominent location visible to inspecting personnel.
- 2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others.
- 3. Pursuant to Env-Wq 1406.21, transfer of this permit to a new owner requires notification to, and approval of, the NHDES.
- 4. This project has been screened for potential impact to **known** occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or only cursory surveys have been performed, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species. This permit does not authorize in any way the take of threatened or endangered species, as defined by RSA 212-A:2, or of any protected species or exemplary natural communities, as defined in RSA 217-A:3.

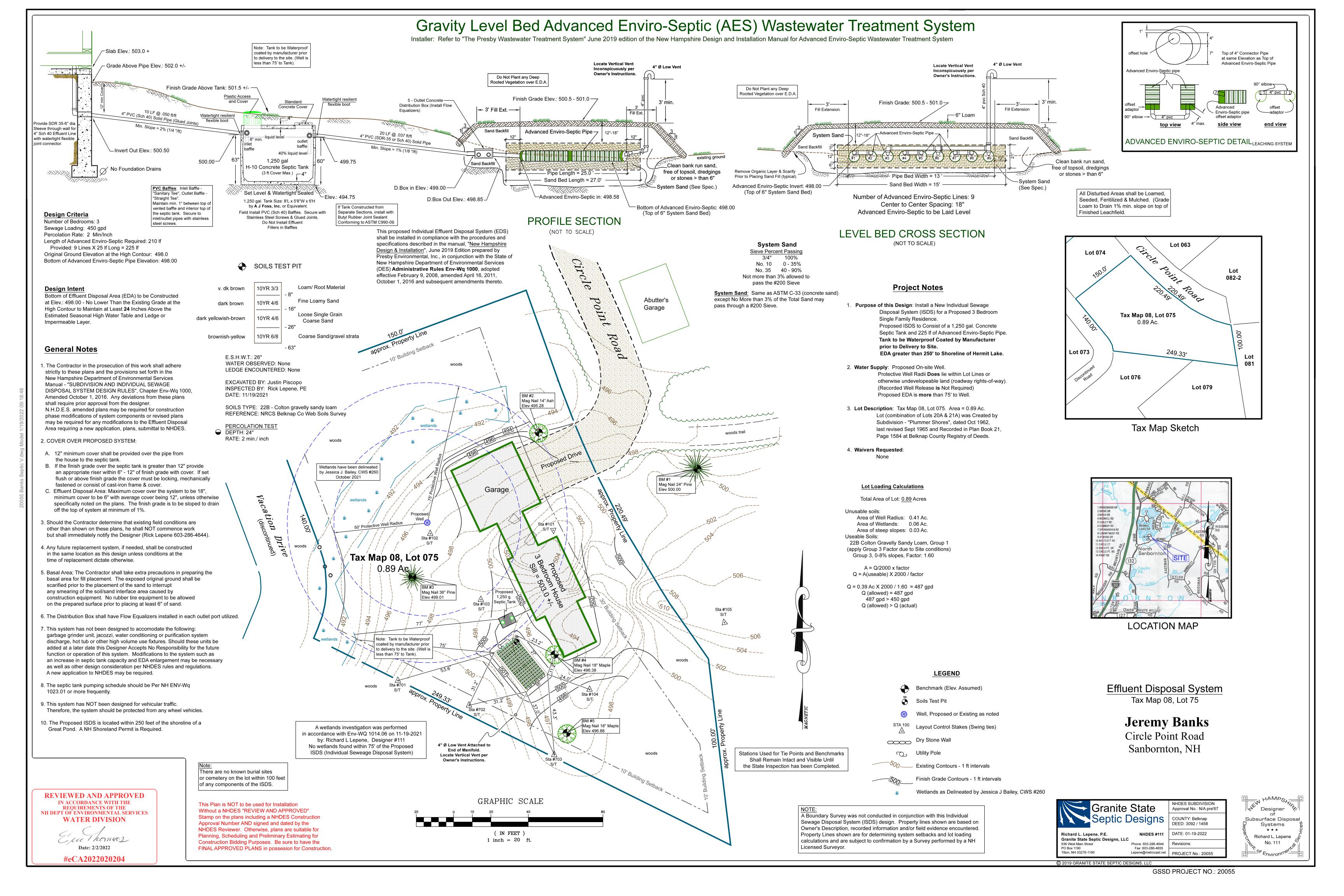
APPROVED:

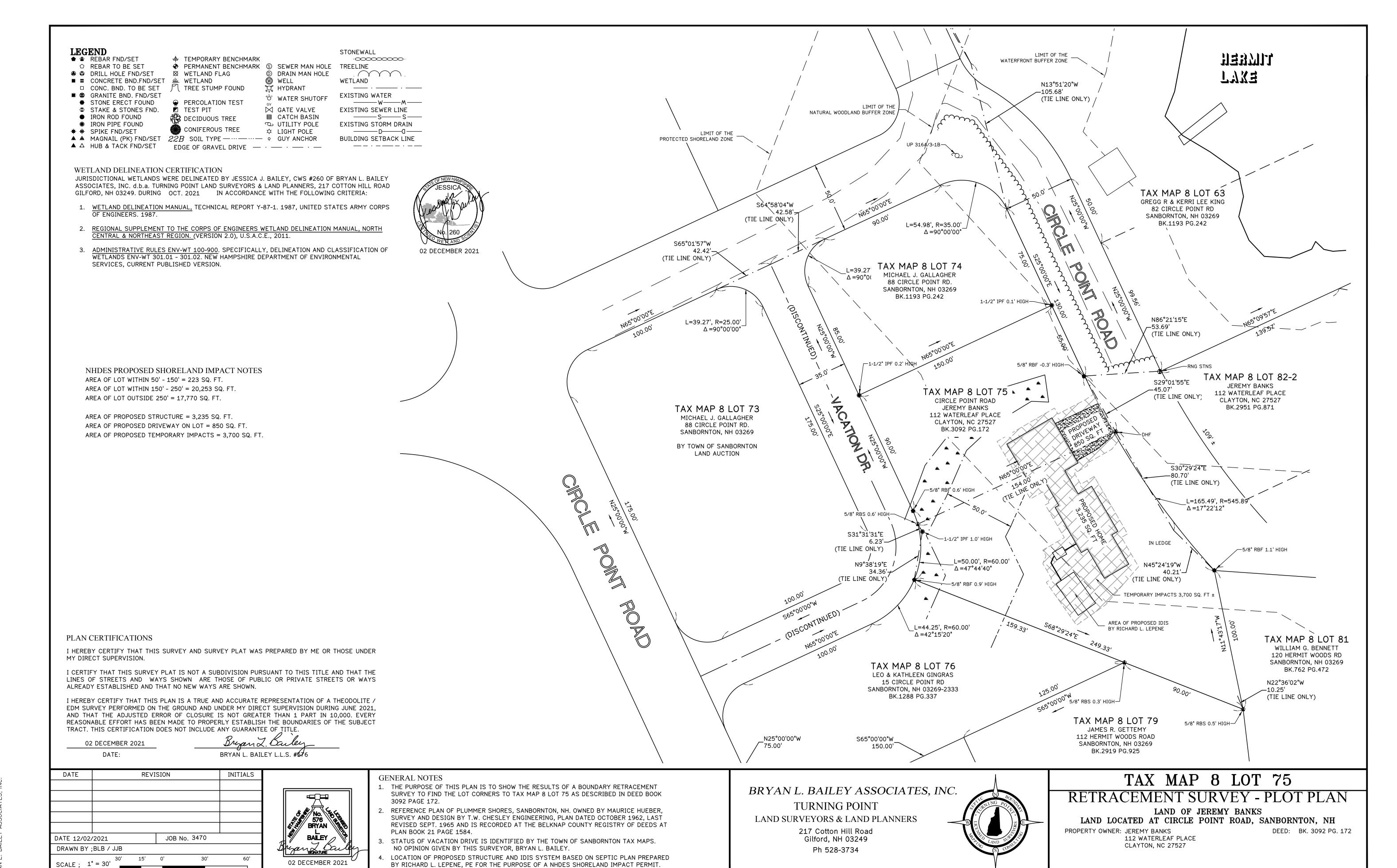
Ryan A. Duquette

Peger regrett

Shoreland/Shoreline Specialist, Shoreland Program Wetlands Bureau, Land Resources Management

Water Division





SHEET 1 OF

DATE OF PLAN: 12/02/21

BY RICHARD L. LEPENE, PE FOR THE PURPOSE OF A NHDES SHORELAND IMPACT PERMIT.

New Hampshire Residential Energy Code Application

for Certification of Compliance for New Construction, Additions and/or Renovations of Detached One- and Two-family dwellings and multi-family dwellings (townhouses) not over 3 stories

EC-1 Form Minimum Provisions from 2018 IRC Chapter 11 Effective Date: July 1, 2022 Owner/Owner Builder: Company Name: (if applicable) General Contractor: Company Name: Name: owner/self Mail Address: State: Town/City: State: Zip: Phone: Cell: E-Mail: panks. serem 7790,9 mail.com Location of Proposed Structure: Type of Construction: Tax Map #: Lot #: Residential O Small Commercial New Building O Renovation O Addition Street: Circle Point Rel. O Thermally Isolated Sunroom O Modular Home: the site contractor must submit this form detailing supplementary rooms and Floor and/or Basement insulation unless the floor insulation is installed or provided by the manufacturer and no heated space is added. O Cheshire, Hillsborough, Rockingham Strafford Total New Conditioned* Floor Area: Zone 6 All other NH counties and town of Durham ft^2 Basement or Crawl Space type: (*a conditioned space is one being heated/cooled, containing uninsulated ducts or w/ a fixed opening into conditioned space. Walls must be insulated) Conditioned? O Yes (Walls must be insulated) No Full Basement ☐ Walk Out Basement ☐ Slab on Grade ☐ Other Structure is EXEMPT because: Form Submitted by: ☐ Mobile Home On an historic register Owner Builder Other I hereby certify that all the information contained in this application is true and correct, and construction shall comply in all respects with the terms and specifications of the approval given by the local municipal code official or New Hampshire Department of Energy. Print Name Jeremy Banks Signature Official Use Only 2/21/24 AJW 2/21/24 **Date Complete Application Received:** Approved by: Approval Number: Stamp:

90100324

Application Approved

Directions: Complete the "Your Proposed Structure" columns. No measurements or calculations are needed. Copies of plans are NOT needed. If you at least meet the Energy Code requirements, your project will be approved. Write N/A in any section that does not apply to your project. If your planned structure does meet these requirements, consider downloading REScheck http://www.energycodes.gov/rescheck to explore energy modelling options. Please submit pages 1,2 and 3 only.

YOUR PROPOSED STRUCTURE

Section	Required R or U Values	Write Planned R and U Values	Brands / Models / insulation type and thickness (if known) Check if Sunroom Log Walls
Window U Factor . (lower U is better)	U.30 (maximum) U32 (if log walls in Zone 5) U30 (if log walls in Zone 6) U.45 (Thermally Isolated Sunrooms only)	Write in U-Value R. 5-57 D-178	
Skylights	U .55 (or less) U .70 (Thermally Isolated Sunrooms only)	Wone_	
Flat Ceiling ⁱ or Flat Ceiling	Standard Truss R-49 (Zone 5 or R-38 (Zone 5 or	Write in R-Value	NOTE: R-38 will satisfy the requirement for R-49 if the full R-38 insulation value is maintained over the outside plates. If using only R-38 (Zone 5 or 6), you must certify that you will maintain R-38 over the plates by checking the box below.
with Raised or Energy Trusses R-value	6) if using the above construction technique R-49 if log walls 6) if maintaining the full R value over the plates R-49 if log walls	If using only R-38 in Zone 5 or 6 you must check this box	By checking this box, I certify that this structure is being built with a raised energy truss or that the full R-value of the ceiling insulation will be maintained over the outside plates.
Sloped or Cathedral Ceiling	R-30 (Zone 5 & 6) if less than 500 ft sq or 20% of total ceiling area or as above R-24 (Thermally Isolated Sunrooms only)	Write in R-Value	Check if Sunroom
Above Grade Wall ⁱⁱ R-value	R-20 Cavity Insulation only or R-13 plus R-5 Cavity plus Continuous Insulation R-13 (Thermally Isolated Sunrooms only) R-20 plus R-5 Cavity plus Continuous Insulation R-13 plus R-10 Cavity plus Continuous Insulation R-13 (Thermally Isolated Sunrooms only)	Write in R-Value R-2t Ph's R-5 Continuous	Log homes must comply with ICC400-2012, have an average minimum wall thickness of 5" or greater with specific gravity of ≤0.5 or 7" wit specific gravity >0.5. Check if □ Sunroom □ Log Walls
Door U-Value	U .30 (maximum)	Write in U-Value	One opaque door in the thermal envelope is
Floor R Value (e.g., floor over Basement or garage)	R-30 or Insulation sufficient to fill joist cavity minimum R-19	Write in R-Value R-3c	exempt from the U-factor requirement. If conditioning the basement you must insulate Basement Walls. If not, you may
Basement or Crawl Space	For <i>both</i> Zone 5 and Zone 6 R-19 Cavity Insulation or	Write in R-Value	insulate either Floor or Basement Walls and Slab Edge (if ≤ 1 ' of grade) When chitmed Basement Walls

Slab Edge ⁱⁱⁱ R Value	R-10 2' (Zone 5) 4' (Zone 6) (see drawing pg 3) add R-5 if the Slab is heated or R-15 under entire heated slab if a log home.	Write in R-Value	Check if Heated Slab
Air Sealing	A blower door test is required . The test must demonstrate an air exchange rate of three Air Changes per Hour (ACH) or less @ 50 Pa.	Blower Door	If required by the code official, an approved third party may be required to conduct the blower door test.

Submit pages 1,2 and 3 to local municipal code official or NH Department of Energy at energy.nh.gov
Phone: 603.271.3670 Fax: 603.271.3878